



**TOWN OF MINTO**

**MEETING DATE:**

July 9<sup>th</sup>, 2024

**REPORT TO:**

Mayor Turton and Members of Council

**SERVICE AREA:**

Building Department

**SUBJECT:**

PLN 2024-024 – Zoning By-law Amendment (ZBA 2024-06) – Teeswater Concrete  
5991 3rd Line  
Concession 2 Part Lot 22

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**RECOMMENDATION**

THAT the Council of the Town of Minto receives report PLN 2024-024 for the proposed Zoning By-Law Amendment ZBA 2024-06 – Teeswater Concrete, for lands legally described as Concession 2 Part Lot 22, with a municipal address of 5991 3rd Line, for information.

**BACKGROUND**

The subject lands are legally described as Concession 2 Part Lot 22 with a municipal address of 5991 3rd Line. The subject property comprises approximately 33.2 ha (82 ac) of land, with the licensed pit occupying 12.24 hectares. The pit area is zoned ‘EI-112” (Extractive Industrial exception zone), a site-specific zone that allows for the licensed aggregate operation, along with certain accessory uses including the recycling of concrete and asphalt, but does not a concrete plant.

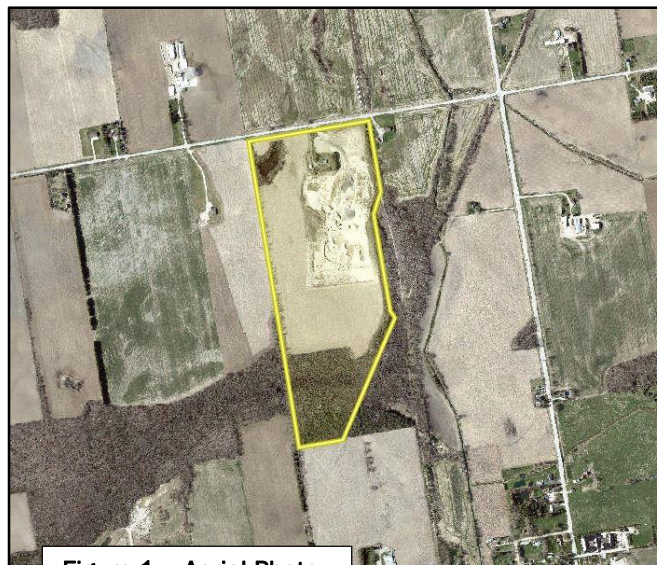


Figure 1 – Aerial Photo

Source: Wellington County GIS (2020)

**PURPOSE**

The purpose and effect of the proposed amendment is to rezone a portion of the subject lands (approximately 12.24 ha) to permit a ready-mix concrete plant as an accessory use to the existing licensed aggregate pit under the Aggregate Resource Act.

**Provincial Growth Plan**

Please refer to the attached report by the County of Wellington for additional information pertaining to conformity with the Growth Plan for the Greater Golden Horseshoe.

## Wellington County Official Plan

The subject property is designated PRIME AGRICULTURE, CORE GREENLAND and GREENLAND. The identified features include significant wooded areas and Maitland Valley Conservation Authority Regulated Wetlands, Hazard Lands, and Provincially Significant Wetlands. The proposed ready-mix concrete plant appears to be located beyond the Core Greenland and Greenland designation.

Please refer to the attached report by the County of Wellington for additional information pertaining to conformity with the County of Wellington's Official Plan.

## Town of Minto Zoning By-law

The subject lands are zoned Agricultural Exception (A-1), Extractive Industrial Exception (EI-112) and Natural Environment (NE).

Permitted uses in this zone include licensed extractive pits or quarries as regulated by the Aggregate Resources Act, existing asphalt or concrete plants, aggregate transfer stations, temporary portable asphalt plants, and operations such as screening, sorting, crushing, and storing of extracted materials. Additionally, accessory uses, buildings, and structures related to these activities are allowed. Furthermore, the recycling of used asphalt, concrete, brick, and similar inert materials, and blending them with sand and gravel, is permitted.

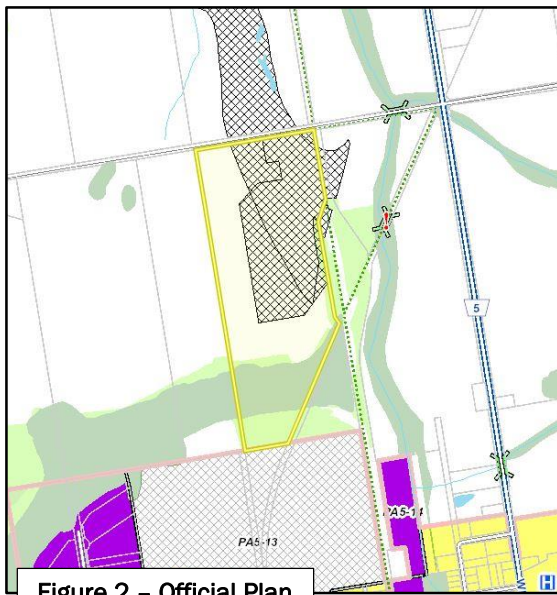


Figure 2 - Official Plan

Source: Wellington County GIS (2020)

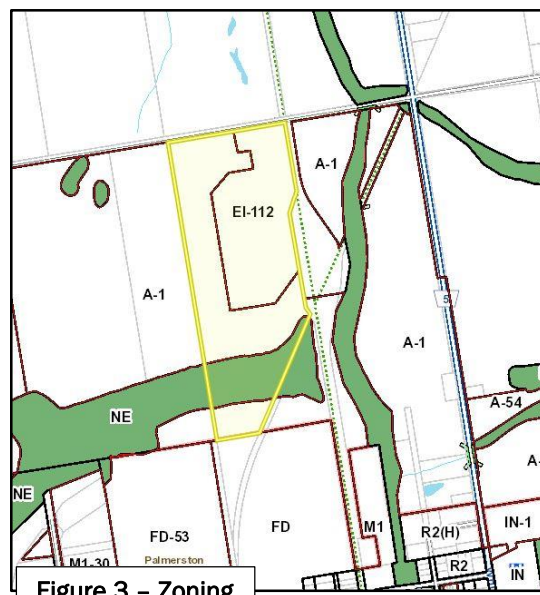


Figure 3 - Zoning

Source: Wellington County GIS (2020)

## COMMENTS

Town Staff, Wellington County's Planning Department, as well as other agencies required by the *Planning Act* have been circulated the application for review and the following comments were received.

## **Wellington County's Planning Department**

Planning Staff note that, in addition to the local zoning amendment requirements, the applicant's engineer has identified the following provincial approvals necessary to establish a concrete plant on the property:

- Environmental Compliance Approval (ECA) for Stormwater under the Ontario Water Resources Act (OWRA).
- Approval (ECA or Environmental Activity Site Registration) for Air (Dust) and Noise.
- If daily water taking exceeds 50,000 L/day, a Permit to Take Water (PTTW) from the Ministry of the Environment, Conservation and Parks (MECP) under the Ontario Water Resources Act will be required.
- Amendment of the existing pit license under the Aggregate Resources Act to include the additional use.

The applicant has also indicated that the concrete plant will be registered with the Ready-Mix Concrete Association of Ontario.

Following the public meeting, Planning Staff will prepare a final report and draft zoning by-law for Council's consideration.

## **Wellington Source Water Protection**

Since this property is not located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the Clean Water Act.

## **Maitland Vally Conservation Area**

The property falls within the Maitland Valley Conservation Authority (MVCA). The MVCA reviewed the application for compliance with natural hazard regulations. According to Ontario Regulation 41/24, any development within 30 meters of a wetland must be reviewed and approved by the MVCA. The proposed development meets the requirements of Section 3.1 of the Natural Hazard Policies of the Provincial Policy Statement (PPS) 2020. Consequently, the MVCA has no objections to the application.

## **Town of Minto Staff**

Town staff have received and reviewed the County's report and support the comments brought forward within it as it is consistent with the County of Wellington's Official Plan and applicable provincial policies.

## **Public Works Department**

PW has reviewed the planning application and requires information on the proposed primary truck route. They recommend a geotechnical investigation at the applicant's expense to assess the current road structure versus what is needed for their truck traffic. This data will help determine any financial contributions for necessary road upgrades.

## **Neighbouring Landowners/Residents**

A registration to attend the Public Meeting were received prior to the submission of this

report from the Bramhill daughters regarding concerns about Noise, Dust, Location, Size, and Reduction in adjacent property values.

The Wellington County Planning Department and Maitland Valley Conservation Authority reports are attached for your review.

**STRATEGIC PLAN**

**Goal 3:**

Strong Vibrant Economy Progressively support our local businesses while leveraging Minto's competitive advantages to attract new economic investment.

**PREPARED BY:** Sama Haghghi, Planning Coordinator

**RECOMMENDED BY:** Gregg Furtney, Chief Administrative Officer